



## **Waterloo Regional Heritage Foundation**

### **Minutes**

Tuesday, February 23, 2021

5:33 p.m.

This meeting was held electronically

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Present were: Chair J. Glass, E. Clarke, P. Elsworthy, V. Hicks, M. Lee, B. Martin and K. Redman

Members absent: J. Clinckett, D. Emberly, L. Haggerty, J. Lewis and V. Mance

### **Declarations of Conflict of Interest**

None declared.

### **Introduction of new Members**

Round table introductions were provided.

### **Delegations**

- a) Omar Kaake re: Property Grant Application 35-37 and 39 Main Street

O. Kaake appeared before the Foundation noting the history of the buildings, current state of the buildings, scope of work that is to be completed. A copy of the [presentation](#) is appended to the original minutes.

The Foundation requested that O. Kaake provide a quote for the masonry work alone, as the current quote includes infill of windows, doors and manipulation to the façade of the building, noting that the heritage aspects of the building are the only components that can be funded by the Foundation.

The Foundation discussed the option of the window replacements, noting that they will replicate the original windows. It was noted that a quote for the window work would have to be provided, separate from that of the masonry quote.

**Accounts and Grant Summaries**

J. Glass provided an overview of the February accounts and grant summary and provided an overview of the operating and granting budget.

**2021 Budget**

J. Glass provided an overview of the budget.

Moved by M. Lee

Seconded by B. Martin

That the Waterloo Regional Heritage Foundation approve the 2021 Budget.

Carried

**Approval of Minutes – January 26, 2021**

Moved by K. Redman

Seconded by E. Clarke

That the minutes of the Waterloo Regional Heritage Foundation meeting held on January 26, 2021 be approved.

Carried

**2020-2021 Committees****a) Heritage Advisory and Communications Committee**

J. Glass provided an overview of the committee and the nomination process for the new members and noted that the deadline for award nominations is the third week of March and that the ceremony would likely be delayed again due the pandemic.

**b) Allocations and Finance Committee**

- i. Revised grant amount for Stephen Young re: Dickson & Bruce History meets Mystery TV series Episode

J. Glass provided a history of the original request and noted that the Foundation had discussed providing an additional grant toward the filming cost of the project, due to the applicant not receiving funds from the Waterloo Region Arts Fund.

Moved by E. Clarke

Seconded by M. Lee

That the Waterloo Regional Heritage Foundation award Stephen Young a grant of \$3000 plus HST the toward filming costs of Dickson & Bruce History meets Mystery TV Series Episode

And that the project be completed before February 23, 2022, a one-year period from the date of the approved motion;

And that the Foundation's official name and logo appear in the production of the series recognizing the contribution made by the Foundation;

And that a statement of account with copies of supporting invoices and receipts be submitted to the Foundation upon completes of the project with request for payment;

And further that the grant is awarded in addition to the previous amount as the applicant was not successful in his application to the Waterloo Region Arts Fund (WRAF).

Carried

The Foundation discussed looking into indemnity statements which can be added to future motions.

ii. Project Grant re: Kitchener Public Library – Oral History

J. Glass provided a background to the application received by the A&F Committee and noted that it would be distributed to the Foundation with the March agenda. .

iii. Omar Kaake re: Property Grant Application 35-37 and 39 Main Street

The Foundation discussed the application and noted that due to the quotes that were provided originally, the decision to grant any money would be dependent on the detailed quotes that were requested for the masonry work. It was noted that the other elements of the application would not fall under the heritage designation and there could be potential to consider the window replacements, dependent on the applicant's revised quotes.

**Next Meeting – March 23, 2021**

**Adjourn**

Moved by M. Lee

Seconded by K. Redman

That the meeting adjourned at 6:38 p.m.

Carried

**Foundation Chair**, J. Glass

**Foundation Secretary**, J. Rudy

# 35-37 Main Street and 39 Main Street Restoration Project

Soon to be: The Granite Lofts



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Welcoming 4 retail spaces and 8 residential apartments to  
Downtown Galt.

## HISTORY AND ARCHITECTURAL SIGNIFICANCE

9



one of Ontario's finest historic streetscapes

### The Granite Block

This classical revival pre-confederation section of Main Street, known as the Granite Block is arguably the most significant building in downtown Galt. Professor Gordon Couling has written that "The south side of Main Street in Galt, with its continuous distinguished stone facades, is an impressive example of the well designed unity of the nineteenth century Ontario business street". It identifies Galt as the granite city. In addition, the history of mercantile Galt can be traced back to this location as it was the site of Absalom Shade's White store. The oldest portion of the Granite Block (#39) dates from 1851 having survived one of Galt's major fires. The remainder was rebuilt after the fire in 1862.

The architectural composition of the Granite Block is one of clarity and fine proportions. The block is mainly three storeys high but with one higher four storey section. The wall material is granite and the windows, that are similar in size and proportion, form two continuous lines at second and third floors. The top line of windows at the fourth floor are arched. There is a slight variation in the treatment of the window lintels, roof cornices and wood detailing across the facade. The whole composition however is of fine visual unity and repose. The rear of the block comprises a series of stone facades of varying set back and height with new and old alterations.

# CITY OF CAMBRIDGE BY-LAW

BY-LAW NO. 28 - 85

OF THE

CORPORATION OF THE CITY OF CAMBRIDGE

Being a by-law of the City of Cambridge to designate an area of the City of Cambridge as a Heritage Conservation District under Section 41(1) of the Ontario Heritage Act, R.S.O., 1980, c. 337 as amended.

WHEREAS Part V of the Ontario Heritage Act contains provisions relating to heritage conservation districts;

AND WHEREAS Council, under Section 40(1) of the said Ontario Heritage Act, has by by-law defined the area bounded by Water Street South, Main Street, Ainslie Street South, and the north side of the municipal parking lot as an area to be examined for future designation as a heritage conservation district;

AND WHEREAS the examination of this area has now been completed:

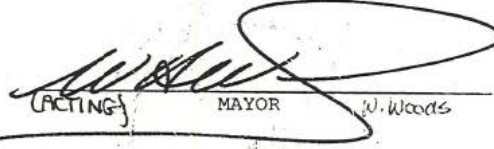

AND WHEREAS under Section 41 of the said Ontario Heritage Act, where there is in effect in a municipality an official plan that contains provisions relating to the establishment of heritage conservation districts, Council may, by by-law, designate any defined area as a heritage conservation district;

AND WHEREAS there is in effect in the City of Cambridge an official plan that contains provisions relating to the establishment of heritage conservation districts;

NOW THEREFORE THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE CITY OF CAMBRIDGE ENACTS AS FOLLOWS:-

1. THAT the area bounded by Water Street South, Ainslie Street South and the north side of the municipal parking lot as outlined on Schedule "A" attached to and forming part of this by-law is hereby designated as a heritage conservation district.
2. This by-law comes into effect on the date of its passing subject to receiving approval of the Ontario Municipal Board.

READ A FIRST, SECOND AND THIRD TIME,  
ENACTED AND PASSED, THIS 11TH DAY OF FEBRUARY, A.D., 1985.

  
ACTING MAYOR W. Woods  
  
CLERK James Anderson



# BY-LAW OBJECTIVES

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## SECTION 4 - OBJECTIVES OF THE PLAN

This Heritage Conservation District Plan is part of a continuum of plans and decisions administered through the public and private sector, for the City of Cambridge. It should not therefore be considered as an isolated document, but rather a refinement of just one particular feature of the city -- its man-made heritage. The fact that the city has a rich man-made heritage is not accidental but the result of conscious and unconscious efforts by the community. This plan now crystallizes these efforts into a more formal strategy of long term conservation.

The principal objectives of the plan embrace aesthetic, economic and social considerations which are enunciated as follows:

### i The Aesthetic Objectives of the District

The primary objective is to conserve and restore a selection of existing structures within the district which contribute to the historic and architectural style of Cambridge (Galt), and to redevelop a selection of properties in a compatible manner.

Specifically the objective is:

- to achieve a cohesive, well-designed district emphasizing the integrity of its historic streetscape;
- to encourage retention and restoration of original architectural detail;
- to encourage the construction of new buildings to be of good design compatible with the historic district;
- to eliminate detrimental elements of the environment in and around the district;
- to introduce positive aesthetic features that will enhance the atmosphere and visual appeal of the streetscape, including landscaping, streetlights and pedestrian amenity.

### ii The Economic Objectives of the District

While part of the primary objective is to conserve and restore a selection of structures in the district, it is not the intention to create a museum-like character. On the contrary it is vital that the district remain a competitive and viable part of the working community, which is continually meeting the challenges of a business district. The specific economic objectives are thus:

- to maintain the business core area of the city as a progressive, viable and profitable commercial entity;
- to upgrade the upper floors for residential and office use;
- to develop improvement programmes that will promote investment in the downtown core;
- to encourage the owners of heritage buildings to seek financial assistance for building renovation;
- to provide incentives for the individual property owner to utilize conservation procedures in his/her improvement plans;
- to develop new and effective economic initiatives to increase and strengthen the economic base of the district.

### iii Social Objectives of the District

The City of Cambridge (Galt) is one of the pioneer communities in the region, and its role in the shaping of history in the area has been significant. The city also has the atmosphere of an historic place, characterized by its quite small population, physical size, intimate scale and homogeneity of its population. The social character of the city and district is therefore of importance and the social objectives are as follows:

- to maintain a local atmosphere;
- to promote heritage conservation as a natural consideration in any considerations of development;



## CURRENT CONDITION (DETERIORATION)

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### KEY SIGNIFICANT HERITAGE FEATURES TO BE RESTORED

1. Age and heritage of the properties on the whole; therefore Structural Damage a major issue to be addressed. Properties have been neglected for an undetermined period which has now compromised the structural integrity.
2. Stone Masonry - Deteriorated, requires repairs and repointing by qualified mason.
3. Window Replacement- Asbestos in caulking, glass broken, windows inoperable.
4. General Front Elevation restoration and upkeep - Soffits, Fascia, wood detailing, cornices etc.

## SUPPORTING DOCUMENTS AND THANK YOU FOR CONSIDERATION

We thank you in advance for the potential support. Your past support on our projects such as 2 Water ST N (Bank of Toronto Building) and 58-76 St. Andrews St (St Andrews Terrace Row Townhouses) were vital to their success in preserving the heritage and life of these properties.



We estimate a total investment of over 2 million dollars to restore these properties and bring them back to life.

Attached is the following supporting documents;

- Quotations from Qualified Contractors (Structural Repairs not included)
- MHAC Requested Detailed Requirements
- EDGE / Tacoma MHAC Response to requirements
- MHAC Letter of Approval (Heritage Permit) and Support (full report / minutes pending)

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<b>Date:</b>	July 30, 2020	<b>No. of Pages:</b>	2
<b>Client:</b>	CVIG3	<b>Via:</b>	mtrussell@edgetd.ca
<b>Attn:</b>	Michael Trussell		
<b>From:</b>	Nick Lawler, MAsC, P.Eng, PE, CAHP		
<b>Re:</b>	Proposed Renovations to 35/37 Main Street, Cambridge, Ontario		

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We appreciate the opportunity to submit our quote to you for the structural engineering services outlined below for the above project, based on the preliminary discussions and drawings we have received.

**Project Description:**

Renovation to the building located at 35/37 Main Street, Cambridge, Ontario. The building in question is a three storey commercial building with upper areas of the building being residential. The exterior walls are load bearing stone masonry, while the interior structure is conventional timber wood framing with wood joists and a wood deck. The building has a sloped roof, supported with several timber trusses and has an approximate 5,000 sq.ft footprint

**Phase 1: Assessment and Design Development**

Tacoma Engineers will complete a site assessment of the building interior and exterior. With finishes in place in some areas, investigative openings may be required to access the interior framing. This work includes:

- Detailed review of the existing building to verify the base building plan and structural systems.
- Visual assessment of the condition of the existing structural systems.
- Development of base building schematic framing plans including identification of major areas and systems.
- Preparation of design development drawings which would outline:
  - The composition of the building major structural systems
  - Detail the existing conditions and highlights areas of structural concern
  - Lists conceptual repair options for areas that require work.
  - Comment on the ability to install new stairs and requirements for increased floor loadings.

**Fee: .....**

**\$4000.00 + H.S.T.**

## Phase 2: Structural Engineering Services and Construction Drawings

After the design development phase is completed, Tacoma Engineers can prepare contract documents to facilitate the project design going forward. Services will include:

- Structural engineering for all structural elements of the building upon finalization of the floor layouts and structural system.
- Conservation plan and restoration scope for damaged exterior masonry
- New structural support of damaged arch on the ground floor.
- Preparation of the structural drawings for permit, tender and construction, in Autocad or Revit.
- Structural specifications will be on the drawings.
- Coordination of all documents with the architect and other disciplines.
- Final review, coordination and revision of all documents prior to issuance for building permit and tender.
- Resolution of building permit review issues with the City of Cambridge.

**Fee: .....**

**\$16,000.00 + H.S.T.**

## Construction Review and Administration

- Attendance at site meetings (estimated 5 meetings).
- Review of shop drawings
- Review of inspection and testing reports, mix design, shop reports, mill tests, plumb surveys, welding inspections, etc.
- General site reviews of the construction and preparation of reports.
- Consultation and co-ordination during construction (site instructions, RFI's, proposed changes, etc.) as required.
- Resolution of construction review issues with the City of Cambridge Building Department.
- Final site review and report.

**Budget (not to exceed): .....**

**\$8,000.00 + H.S.T.**

## Additional Services

We believe that being flexible to accommodate minor design changes during the design phase of the project is important for the success of the project team, and that belief is reflected in our proposed fees. Additional services requested by our client may be negotiated as a change to our agreement or charged at hourly rates.

- Hourly Rates:

<b>Principal/Sr. Structural Engineer</b>	<b>\$ 160/hr.</b>
<b>Structural Engineer</b>	<b>\$ 140/hr.</b>
<b>Technologist</b>	<b>\$ 110/hr.</b>





## **BUDGET**

Job # 20-1741GC\_G

January 7, 2021

Central Views Investment Group 3  
35-37 Main St.  
Cambridge, ON  
N1R 1V6

ATT: Omar Kaake / Kayla Zawiski

RE: 35-37 Main Exterior Façade Budget

We have attended the above noted site and submit our quotation as follows.

**Division 01 General Requirements** \$ 31,885.00

- Project Management
- Site Protection
- Demolition of storefronts, 2<sup>nd</sup>/3<sup>rd</sup> floor windows, exit stair, metal cladding
- Removal of debris from site
- Final Clean up

**Division 04 Masonry** \$ 56,960.00

- **North Elevation**- new expanded window openings
- **East Elevation**- existing stone to have cracks repointed and deep cavities filled with grout. Remove rills and infill 4 windows, 1 existing window infill to be removed. Supply and install 6 new window stone headers
- **South Elevation**- Remove and dispose of existing brick chimney, fill in door opening. Existing stone to have cracks repointed and deep cavities filled with grout

**Division 07 Thermal and Moisture Protection** \$ 26,250.00

- Remove existing flat roof membrane to deck and recycle as required
- Supply and install 1" poli-iso insulation
- Supply and install 60 mil TPO roof system  
Cont.

**YOUR FULL SERVICE CONTRACTOR**

2-207 Madison Ave. S., Kitchener, ON N2G 3M7 • 519.749.3790 • [woodhouse.ca](http://woodhouse.ca)



- Supply and install new 26 ga. pre-finished metal flashing at all parapets including trough and fascia
- Install 5" eavestrough to replace existing

**Division 08 Openings** \$ 75,779.00

- Supply and install 2<sup>nd</sup> and 3<sup>rd</sup> floor pine windows as per heritage on West elevation.
- Supply and install black exterior vinyl windows on North/South elevation
- Supply and install new storefronts on West and east elevation
- Supply and install 1 patio door

**Note:**

- New ground floor structure not included in pricing. This requires specs and drawings to provide accurate pricing. We have however included the roofing and the glazing as apart of the budget (siding & wood cladding not included)
- Glass railing can be budgeted at approx. \$400/LF
- Decking to be budgeted approx. \$12/SF
- Signage box framing and finishing not included in the budget
- Shingle roof to remain as is, unless client prefers new (Subtrade confirm roof is in good shape)
- Budget subject to change once finishes confirmed

Division total.....	\$ 190,874.00
O/P 10%.....	\$ 19,087.40
Subtotal .....	\$ 209,961.40
HST .....	\$ 27,294.98
Total .....	<u>\$ 237,256.38</u>

Thank you for the opportunity to be of service and we look forward to the prospect of completing the above project.

Sincerely,



Jason Boyer, Commercial Estimator



## **BUDGET**

Job # 20-1741GC\_G

January 7, 2021

Central Views Investment Group 3  
39 Main St.  
Cambridge, ON  
N1R 1V6

ATT: Omar Kaake / Kayla Zawiski

RE: 39 Main Exterior Façade Budget

We have attended the above noted site and submit our quotation as follows.

**Division 01 General Requirements** \$ 21,315.00

- Project Management
- Site Protection
- Demolition of storefronts, 2<sup>nd</sup>/3<sup>rd</sup> floor windows, ground level addition
- Removal of debris from site
- Final Clean up

**Division 04 Masonry** \$ 39,045.00

- **East Elevation-** existing stone to have cracks repointed and deep cavities filled with grout. Remove rills and infill 4 windows, 1 existing window infill to be removed. Supply and install 6 new window stone headers
- **West Elevation-** repoint entire façade to match 35-37 Main

**Division 07 Thermal and Moisture Protection** \$ 15,005.00

- Remove existing flat roof membrane to deck and recycle as required
- Supply and install 1" poli-iso insulation
- Supply and install 60 mil TPO roof system
- Supply and install new 26 ga. pre-finished metal flashing at all parapets including trough and fascia
- Install 5" eavestrough to replace existing  
Cont.

**YOUR FULL SERVICE CONTRACTOR**

2-207 Madison Ave. S., Kitchener, ON N2G 3M7 • 519.749.3790 • [woodhouse.ca](http://woodhouse.ca)



**Division 08 Openings** \$ 56,444.00

- Supply and install 2<sup>nd</sup> and 3<sup>rd</sup> floor Vinyl windows as shown on drawing. Windows to be black exterior and white interior c/w sash limiters (north/south elevation)
- West elevation windows to be pine finish as per heritage
- Supply and install new storefronts on West and east elevation (including addition)
- Supply and install 1 patio door

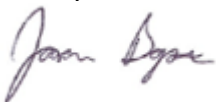
**Note:**

- New ground floor structure not included in pricing. This requires specs and drawings to provide accurate pricing. We have however included the roofing and the glazing as apart of the budget (siding & wood cladding not included)
- Glass railing can be budgeted at approx. \$400/LF
- Decking to be budgeted approx. \$12/SF
- Signage box framing and finishing not included in the budget
- Shingle roof to remain as is, unless client prefers new (Subtrade confirm roof is in good shape)
- Budget subject to change once finishes confirmed

Division total.....	\$ 131,809.00
O/P 10%.....	\$ 13,180.90
Subtotal .....	\$ 144,989.90
HST .....	\$ 18,848.68
Total .....	<u>\$ 163,838.58</u>

Thank you for the opportunity to be of service and we look forward to the prospect of completing the above project.

Sincerely,



Jason Boyer, Commercial Estimator



**Community Development Department**

Telephone: (519) 623-1340 Ext. 4690

Fax Number: (519) 740-9545

Email: [plunkettlata@cambridge.ca](mailto:plunkettlata@cambridge.ca)

December 14, 2020

To whom it may concern:

**Re: Request to Alter a Designated Property – 35-37 & 39 Main Street**

Owner/Applicant : Mr. Omar Kaake

It was agreed at our December 11, 2020 meeting that the extent of exterior alteration proposed for the property municipally known as 35-37 and 39 Main Street in the City of Cambridge required that a scoped Cultural Heritage Impact Assessment (CHIA) be submitted to staff to assist with evaluating impacts upon the designated properties.

This meeting followed an earlier informal review of preliminary designs for alterations of 35-37 and 39 Main Street prepared by Edge Architects and dated 15, September 2020. This review was completed by myself on November 25, 2020 and identified that the proposed development may have impacts upon identified cultural heritage attributes requiring Municipal Heritage Advisory Committee review.

The purpose of a CHIA is to evaluate the potential impact of a proposed development on heritage attributes of identified heritage resources and propose mitigation strategies.

Given that the proposed alterations to the exterior of the structures located at 35-37 & 39 Main Street are limited, a scoped CHIA has been determined to be appropriate in place of a full CHIA.

As a follow up to the verbal request from the December 11, 2020 meeting, the following information is requested to be included within the scoped CHIA for staff to determine the request for alteration to a designated property complete:

**1. A graphic and written inventory of the heritage resource.**

The graphic and written inventory should briefly outline the structures' current form and condition. If measured drawings have been prepared documenting the existing structures, these should be included but are not required to be prepared.

In addition to a brief written description of the existing structure, photographs should be included documenting details of the structure with a particular focus on details proposed

to be altered or removed, including details of windows and doors, damaged or degraded stonework, and portions of the structure proposed to be demolished.

An evaluation of the heritage resources' integrity should be included, and may include such details as rotting or degraded materials, spalled stonework, presence of designated substances for exterior surfaces, and modern alterations to the structure that detract from its heritage attributes.

It was determined through an informal preliminary review of plans submitted in November 2020 that the proposed alterations may have impacts upon two identified heritage attributes:

- Restoration of existing stonework
- Replacement of existing second and third-storey windows on the north elevation of 35-37 and 39 Main Street.

Impacts and mitigation measures must be described as they pertain to these identified attributes.

Any additional attributes described in the Main Street Heritage Conservation District Plan and impacts upon them should be identified.

Rear additions and first-floor commercial shop fronts have been identified within the Main Street Heritage Conservation District Plan regarding the "Granite Block" as suitable for redevelopment, provided that the design is sensitive to existing heritage attributes. They do not require evaluation as heritage attributes.

This section should answer questions such as:

- a) What are the structures' heritage attributes?
- b) What is their condition?
- c) Are conditions the same between 35-37 and 39 Main Street? For example, if the windows are in a degraded condition, are all of the windows equally degraded? Were designated substances identified on all of the windows?

## **2. A description of all proposed alterations to the exterior of the structures**

The scoped CHIA should include a written list of all of the proposed alterations to the exterior of the structure. This written description should be supported with floorplans showing perimeter walls and elevations depicting the proposed alterations.

The list should provide sufficient detail that potential impacts upon the structures, and conformity with the Main Street Heritage Conservation District Plan may be determined, e.g. enlargement of four window openings on rear façade and replacement of wood windows with vinyl casement windows. Materials and design should be specified where appropriate to highlight compatibility of materials and design with existing heritage attributes, as required by the Main Street Heritage Conservation District Plan and Main Street Urban Design Guidelines adopted by the City of Cambridge.



### **3. Assessment of the proposal's impact on the heritage resource**

The proposal should describe what impacts the proposed development will have upon heritage attributes. If the specific impact identified below is not relevant to the project the report may simply state "no impact." Potential impacts include:

- a) Destruction of heritage attributes
- b) Alteration of heritage attributes
- c) Shadowing of attributes
- d) Isolating attributes from their context
- e) Obstructing view of attributes
- f) Changing of land use (such as agricultural to residential)
- g) Land disturbance (relates to archaeological potential).<sup>1</sup>

### **4. A range of alternatives explored to conserve the resource.**

The Standards and Guidelines for the Conservation of Historic Places in Canada advocates a minimum intervention approach in which retention of heritage attributes should be prioritized where possible.

If attributes are to be removed and replaced, then a range of options, from least to most invasive, should have been explored first, e.g. repair of the whole or part of the attribute, replacement with exact replicas, and/or replacement with modern alternatives.

The Report should identify that a range of options were thoroughly investigated and identify the preferred conservation alternative based upon those findings.

This section should answer:

- a) What options were explored to retain heritage attributes, how, and by whom?
- b) Has the option of repairing or partially replacing attributes been assessed?
- c) Could portions of heritage attributes be retained (e.g. the windows of 35-37 but not 39 Street or vice versa)?
- d) If heritage attributes must be replaced or altered how was that determined and by whom?

### **5. Means to mitigate impacts on the resource**

This section should detail the means chosen to mitigate impacts upon the cultural heritage resource.

If the option of repairing the existing windows, for example, has been thoroughly investigated and has been determined not to be possible, then the proposed replacement should be identified in detail, including materials, design, and manufacturer such that visual impacts of the proposed alteration may be fully understood.

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<sup>1</sup> MHSTI, Infosheet #5: [http://www.mtc.gov.on.ca/en/publications/Heritage\\_Tool\\_Kit\\_Heritage\\_PPS\\_infoSheet.pdf](http://www.mtc.gov.on.ca/en/publications/Heritage_Tool_Kit_Heritage_PPS_infoSheet.pdf).

Replacements should replicate existing heritage attributes as closely as is technically and economically feasible. It is recommended that replacement windows, for example, be constructed by specialists in heritage windows and be produced in the same style and materials as the original.

If the style and materials of the original attribute are proposed to be replaced, such as replacing 1 over 1 sash windows with 6 over 6 sash windows, then physical or documentary evidence should be included to support the design. Windows should at minimum keep the same exterior characteristics including profile depths, unless differences are reasoned and support by physical and documentary evidence.

The report should identify the methods that will be employed to ensure that restoration of stonework, as outlined in 20047 – 35-37 39 Main St Renovation – Heritage Comments Response Letter (2020.12.10) submitted for review on December 10, 2020.

This section may advise that a conservation plan, including the detailed documentation of removed resources, will be prepared as a mitigation measure for the removal or demolition of heritage attributes.

## **6. Qualifications**

Provide the qualifications of the authors of the report as they pertain to the evaluation of cultural heritage resources.

Once these items have been received, staff may write a report making recommendations to the Municipal Heritage Advisory Committee.

The following resources may assist in the preparation of the scoped CHIA:

The Standards and Guidelines for the Conservation of Historic Places in Canada: <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf> (pages 153-159 relate to window conservation)

Should you have any questions regarding the above, please contact Abraham Plunkett-Latimer at (519) 623-1340 Ext. 4690 or by e-mail at [plunkettlata@cambridge.ca](mailto:plunkettlata@cambridge.ca)

Yours truly,



Abraham Plunkett-Latimer  
Senior Planner – Heritage  
Community Development Department

City of Cambridge  
50 Dickson Street  
Cambridge ON, N1R 5W8

**ATTN: Abraham Plunket-Latimer, Senior Planner – Heritage  
Community Development Department**

**RE: Scoped Cultural Heritage Impact Assessment of the  
Proposed Alterations to 35-37 & 39 Main St, Cambridge**

Dr. Mr. Plunket-Latimer,

Please find enclosed our scoped Cultural Heritage Impact Assessment (CHIA) report which is being submitted to assist City of Cambridge staff with the evaluation of the potential impacts associated with proposed alterations to the heritage designated properties municipally known as 35-37 and 39 Main St located in downtown Galt. As per the discussion in our December 11, 2020 meeting, and as detailed in your follow up letter addressed to our client Mr. Omar Kaake dated December 14, 2020, it is understood that because the proposed alterations to the exterior of the structures located at 35-37 & 39 Main St are limited, a scoped CHIA is considered to be appropriate in place of a full CHIA.

We trust that the report will satisfy your requirements related to this file. Should you require anything further please do not hesitate to contact us.

Yours truly,



Michael Trussell, BAS, M.Arch., OAA

**DISTRIBUTION:**

Abraham Plunket-Latimer, City of Cambridge  
Michael Marini, City of Cambridge  
Omar Kaake, Central Views Property Management  
Kayla Zawiski, Central Views Property Management  
Nick Lawler, Tacoma Engineers  
Mark Koppeser, EDGE Architects Ltd.

**Background:**

In July 2020, EDGE Architects and Tacoma Engineers were engaged by Central Views Property Management of Cambridge to provide design services associated with the renovation of two existing adjoined three-storey buildings located in downtown Galt known municipally as 35-37 and 39 Main St. The design concepts that were developed, which propose the creation of residential apartment units on the Second and Third Floors of the existing buildings, include a proposal for modest alterations to the buildings' exteriors including masonry restoration and window replacement. Drawings prepared by EDGE Architects in consultation with Tacoma Engineers were submitted by Central Views Property Management to the City of Cambridge's Economic Development Division and were subsequently forwarded to the Community Development Department for Heritage Planner review. The design concepts were reviewed with Economic Development Division and Community Development Department staff in a meeting on December 11, 2020. This scoped CHIA report is submitted at the request of Heritage staff to further assist with evaluation of the potential impacts associated with the proposed alterations to the buildings' exteriors. Based on requirements established by staff, this report is structured in six sections as follows:

1. A graphic and written inventory of the heritage resource;
2. A description of all proposed alterations to the exterior of the structures;
3. Assessment of the proposal's impact on the heritage resource;
4. A range of alternatives explored to conserve the resource.
5. Means to mitigate impacts on the resource.
6. Qualifications.

**1. Graphic and written inventory of the heritage resource:**

The buildings at 35-37 and 39 Main St are situated on the South side of Main St at approximately mid-block between Water St to the East and Ainsle St to the West. The subject buildings are a part of an urban street wall condition made up of buildings varying between three and four stories in height fronting onto Main St that were constructed in the later half of the 19<sup>th</sup> century. Both the 35-37 and 39 Main St buildings are 3-storeys in height and are comprised of load bearing stone masonry exterior and parti-walls and timber floors and roofs. The front (North) façades of 35-37 and 39 Main St are identified in the Main Street Heritage Conservation District Plan as having cultural heritage attributes and are the primary focus of this assessment. Rear additions and first-floor commercial shop fronts have been identified within the Main Street Heritage Conservation District Plan regarding the Granite Block as suitable for redevelopment, provided that the design is sensitive to existing heritage attributes. They do not require evaluation as heritage attributes.

The front façades of the 35-37 and 39 Main St buildings are comprised of original stone masonry with the stone material expressed to the exterior on the upper levels. The stonework on the Main St façades, which consists of masonry units of varying shapes and sizes, is generally in good condition. The stone and mortar on the 35-37 Main St façade is visibly lighter in colour than that of the 39 Main St façade. This seems to reflect that the masonry of 35-37 Main St has been cleaned more recently. Required work on the existing stone masonry on the front façades is limited to minimal localized mortar joint repointing for long term stabilization.

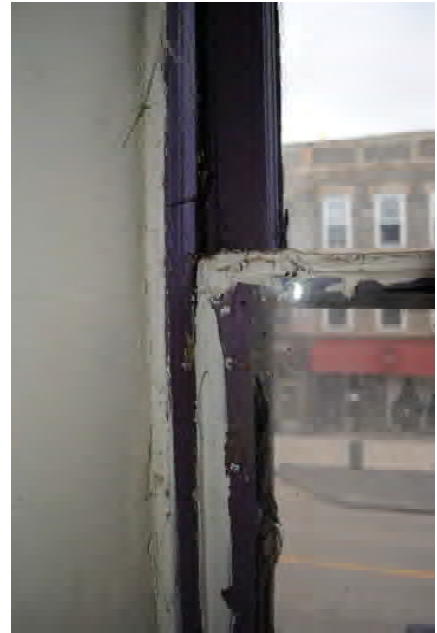
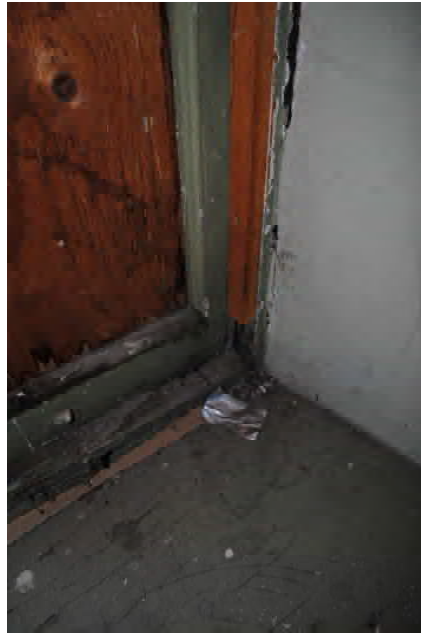


*Figure 1: A photograph of the Main St (North) façade of 35-37 & 39 Main St (M. Koppeser c. 2020).*

Each of the subject buildings has a ground level storefront condition facing Main St which is comprised primarily of aluminum framed glass in conjunction with a mix of tile and metal cladding. The storefronts, which represent 20<sup>th</sup> century alterations, are generally in poor condition due to deferred maintenance, and detract from the overall heritage attributes of the buildings. Both 35-37 and 39 Main St have three punched window openings on each of the second and third floors. All window openings have original stone lintels above which are generally in good condition apart from some surface discoloration including rust. A stone band stretches across the façades at third floor window sill level which visually unifies the adjoining buildings. This stone band, which is in good condition, does not extend to the adjacent buildings to the immediate East and West.

The existing windows on the second and third floors fronting on Main St are all single-hung style of wood construction with single pane glazing. The 35-37 Main St windows do not have any mullion or muntins whereas the 39 Main St are a “6-over-6” configuration. It is uncertain if the windows are original. All existing windows are in extremely poor condition. Wood window components have experienced significant deterioration including rot, water damage, and insect damage. Several glass panes are broken while others are missing. Some missing glass panes have been replaced with plywood and others with plexiglass. All have been very poorly caulked and painted over multiple times. Designated substance assessment results also indicate that the window caulking contains asbestos. The windows are therefore considered beyond repair.





Figures 2, 3, and 4: Photographs showing the condition of windows at 35-37 Main St (M. Koppeser c. 2020).



Figures 5 and 6: Photographs showing the condition of windows at 39 Main St (M. Koppeser c. 2020).





*Figure 7: A photograph of the rear (South) façade of 35-37 & 39 Main St (M. Koppeser c. 2020).*

The rear (South) sides of the buildings are in considerably worse condition than the Main St façades. The rear façades similarly have original stone expressed to the exterior, but the condition of the masonry is extremely poor requiring more extensive repair. Significant mortar loss is evident on the rear building faces resulting in areas of loose masonry units. Spalling and deteriorated field masonry is also observable. Near complete repointing of masonry joints is required and selected masonry units need to be replaced. All window lintels on the 39 Main St rear façade have significant cracks and require removal and replacement. Most rear windows have been removed and boarded shut and a select few have been bricked up. A ramshackle uninsulated light wood-framed 20<sup>th</sup> century addition exists at the rear of 39 Main St which is in a state of significant disrepair. Generally, the rear of the building has few intact heritage attributes.

The condition of the North and South Elevations, as well as the buildings' Floor Plans, are documented on Existing Conditions drawings prepared by EDGE Architects dated September 21, 2020 appended to this report.

**2. A description of all proposed alterations to the exterior of the structures;**

- a. Front (North) Elevations:** Proposed alterations to the exterior of 35-37 and 39 Main St buildings' front (North) façades are depicted on the Demolition and Proposed Floor Plan and Elevation drawings prepared by EDGE Architects dated September 21, 2020 appended to this report.

Proposed alterations to the exterior front (North) façades are further summarized as follows:

- Removal and disposal of deteriorated 20<sup>th</sup> century aluminum framed storefront glazing and entrance doors.
- Installation of new storefront glazing and entrance doors. \*
- Removal and disposal of 20<sup>th</sup> century tile and metal cladding surrounding the storefront.
- Installation of new painted wood cladding surrounding the storefront in place of removed materials. \*\*
- Limited localized repointing of loose masonry mortar joints on the upper levels.
- Removal and disposal of deteriorated single pane single-hung wood windows.
- Installation of new insulated double pane single-hung wood replacement windows. \*\*\*

*\* New storefront glazing and entrance doors at ground level shall be in conformity with the Main Street Heritage Conservation District Plan.*

*\*\* New wood cladding and sign panel over storefront shall have detailing including a profiled cornice on the top of the sign panel in keeping with the era of the original construction of the building and shall be in conformity with the Main Street Heritage Conservation District Plan. Based on field assessment it can be confirmed that the new storefront surround will not irreversibly impact heritage attributes.*

*\*\*\* Proposed replacement windows are Ridley Windows & Doors Inc. brand wood (pine) frame construction with three-part (preservative, polymer primer, and top coat) factory finish (black) which will be representative of original heritage attributes of the existing windows to be replaced. Additional details on proposed Ridley Windows & Doors products proposed for this project are appended to this report.*

- b. Rear (South) Elevations:** Proposed alterations to the exterior of 35-37 and 39 Main St buildings' rear (South) façades are depicted on the Demolition and Proposed Floor Plan and Elevation drawings prepared by EDGE Architects dated September 21, 2020 appended to this report.

Proposed alterations to the exterior rear (South) façades are further summarized as follows:

- Removal and disposal of light wood framed ground floor 20<sup>th</sup> century addition.
- Construction of new addition with storefront glazing and entrance doors and wood siding.
- Removal and disposal of existing deteriorated fire escape.
- Construction of new elevated decks at third floor level.
- Full repointing of loose masonry mortar joints and replacement of damaged masonry units including lintels.
- Light surface washing of stone masonry following repair.
- Removal and disposal of deteriorated windows (of varying construction types) and boarding.
- Enlargement of window openings where indicated on elevations.
- Installation of new insulated double pane vinyl windows.

*New materials proposed for the rear façades are intentionally intended to be discernable as modern interventions, juxtaposing the existing historic materials, but will be compatible with existing heritage attributes as required by the Main Street Heritage Conservation District Plan and Main Street Urban Design Guidelines adopted by the City of Cambridge.*



Figure 8: An elevation drawing of the Proposed alterations to the front (North) façade of 35-37 & 39 Main St (EDGE Architects).



Figure 9: An elevation drawing of the Proposed alterations to the rear (South) façade of 35-37 & 39 Main St (EDGE Architects).

### 3. Assessment of the proposal's impact on the heritage resource:

The proposed interventions to 35-37 and 39 Main St have been established with consideration for The Standards and Guidelines for the Conservation of Historic Places in Canada and best practices for conservation. A summary of the proposal's impact on the heritage resources is as follows:

- a. **Destruction of heritage attributes:** Proposed destruction of heritage attributes is limited to the 12 existing windows on the front (North) façades which, as previously indicated in this report, are extensively deteriorated to the point of being irreparable. The windows are proposed to be replaced in kind with new windows of wood construction with design details based on the physical attributes of the existing windows.
- b. **Alteration of heritage attributes:** Alteration of heritage attributes will be limited to minor localized stone masonry repointing on the front (North) façades. These alterations are proposed for long term stabilization and enhancement of heritage attributes.
- c. **Shadowing of attributes:** No impact.
- d. **Isolating attributes from their context:** No impact.
- e. **Obstructing view of attributes:** No impact.
- a. **Changing of land use:** No impact.
- f. **Land disturbance:** No impact

Further details on the proposals the impacts on the heritage resource can be found in the Heritage Conservation Structural Report prepared by Tacoma Engineers dated December 9, 2020 appended to this report.



Figure 10: A historic photograph from the corner of Main St and Water St showing 35-37 & 39 Main St mid-block (Archives).



Figure 11: Historic photographs of the 35-37 & 39 Main St front (North) façades (Archives).



#### 4. A range of alternatives explored to conserve the resource:

In accordance with The Standards and Guidelines for the Conservation of Historic Places in Canada, a minimum intervention approach in which retention of heritage attributes has been prioritized where possible. A range of options were considered for the sole heritage attribute proposed to be removed and replaced, the 12 existing wood windows on the front (North) façades (which are considered irreparable as described in Section 1 of this report). A list of the considered options related to the windows is as follows:

- a. **Repair of the whole or part of the attribute:** Repair of the whole or part of the existing windows was considered but ultimately deemed impossible due to the extent of deterioration of the wood window components including rot, water damage, and insect damage, the amount of broken/ missing glass panes, very poor caulking/ painting, broken hardware and the presence of asbestos in the caulking material. All windows in both buildings were observed to be of an equivalent level of deterioration. This determination was made by the consultant team in conjunction with the owner and with consideration for the results of the Designated Substances and Hazardous Materials Assessment Final Report commissioned by the owner prepared by Onpoint Environmental Solutions Inc. dated December 7, 2020.
- b. **Replacement with exact replicas:** Replacement of the existing windows with exact replicas was considered but ultimately deemed not to be prudent with best practices for energy efficiency and sustainable design in mind. Replacement of the existing windows with exact replicas comprising single pane glass would not achieve the energy performance mandated by the Ontario Building Code and desired by the owner. This determination was made by the consultant team in conjunction with the owner and with consideration for the 2012 Ontario Building Code Compendium.
- c. **Replacement with new wood windows in kind:** Replacement of the existing windows with new single-hung double pane windows of wood construction with design details generally based on the physical attributes of the existing windows was ultimately determined to be the most prudent solution representing an optimal balance of sensitivity to heritage attributes, energy performance, and cost. Although this solution represents a cost premium of in the order of magnitude of \$24,000 the owner is agreeable to this solution. This determination was made by the consultant team in conjunction with the owner in consultation with suppliers of heritage style wood windows.
- d. **Replacement with modern windows:** Replacement of the existing windows with modern vinyl or fiberglass windows was considered as it would represent a cost-effective solution but was ultimately determined not to be appropriately representative of the existing windows or sensitive to heritage attributes.

## **5. Means to mitigate impacts on the resource:**

To mitigate the impacts on the resource all proposed work on heritage attributes shall be performed by specialist sub-contractors with experience working with heritage masonry structures.

As impact mitigation pertains to the windows, as indicated in Section 4 of this report, after thorough review of a range of alternatives it was determined that new wood windows are the preferred option for replacement of the existing deteriorated wood windows. It is understood that as per best practice for heritage restoration the replacements should replicate existing heritage attributes as closely as is technically and economically feasible. The proposed replacement windows are Ridley Windows & Doors Inc. brand wood (pine) frame construction with three-part (preservative, polymer primer, and top coat) factory finish (black) which will be representative of original heritage attributes of the existing windows to be replaced. Additional details on the proposed Ridley Windows & Doors products proposed for this project, including materials and design, are appended to this report. Special care will need to be taken when removing the existing windows and installing new windows to ensure irreversible damage to the existing stone, lintels, and sills does is not sustained.

As impact mitigation pertains the existing stone masonry restoration scope of work, the following are guidelines to be specifically applied to the maintenance and protection of exterior masonry during construction:

- An overall evaluation of the condition of the masonry shall be performed to determine the final extent of work.
- Measures shall be taken to prevent water penetration and ensure proper water drainage away from the original fabric.
- Cleaning will only be performed when necessary to stop deterioration or remove heavy soiling, rust or graffiti.
- Whenever possible, sound exterior masonry elements shall be retained and restored.
- Repairs shall be visibly and physically compatible with existing building fabric.
- Replacement elements shall match existing in material, form, detailing, and general appearance.
- The masonry restoration work must be completed as required to maintain the building in good condition.

Further details on measures to mitigate impacts on the heritage resource can be found in the Heritage Conservation Structural Report prepared by Tacoma Engineers dated December 9, 2020 appended to this report.

## **6. Qualifications:**

This report is authored by EDGE Architects in partnership with Tacoma Engineers.

EDGE Architects is a professional Architectural consulting practice based in Waterloo, Ontario. The firm holds a Certificate of Practice issued by the Ontario Association of Architects. Edge Architects Founding Partner Mike Trussell, BAS, M.Arch, OAA is an Ontario Association of Architects license holder and member of the Grand Valley Society of Architects Executive, and has a wealth of past experience providing Architectural Services for heritage buildings in Guelph, Wellington County, and Waterloo Region.

Tacoma Engineers is a professional Structural Engineering firm with locations in Guelph, Waterloo, and Barrie, Ontario.

Nick Lawler, M.A.Sc. PE, P.Eng. CAHP of Tacoma Engineers is acting as heritage engineer for the project. Mr. Lawler is a Professional Member of a Canadian Association of Heritage Professionals (CAHP). In addition to providing guidance on heritage conservation Mr. Lawler is responsible for existing building structural assessment and structural design services required for the building's restoration.

## **7. Appendices:**

- Existing Conditions drawings prepared by EDGE Architects dated September 21, 2021 (8 pages);
- Demolition and Proposed drawings prepared by EDGE Architects dated September 21, 2021 (17 pages);
- Heritage Conservation Structural Report prepared by Tacoma Engineers dated December 9, 2020 (1 page);
- Restore vs. Replace literature prepared by Ridley Windows & Doors Inc. dated September 2018 (11 pages);
- Replacement Windows proposal prepared by Norwood dated December 22, 2020 (6 pages).

<b>Date:</b>	December 9, 2020	<b>No. of Pages:</b>	1 + Encl.
<b>Project:</b>	35/37 Main Street Renovations	<b>Project No.:</b>	TE-36563-20
<b>Address:</b>	35/37 Main Street, Cambridge, Ontario	<b>Permit No.:</b>	N/A
<b>Client:</b>	Central Views Property Management		
<b>Distribution:</b>	Mark Koppeser	Edge Architects	mkoppeser@edgetld.ca

### Comments

Tacoma Engineers has been retained by Central Views Property Management to provide structural engineering for proposed renovations at 35/37 Main Street, Cambridge, Ontario.

The subject property is a 19<sup>th</sup> Century, three storey commercial building, constructed with exterior load bearing stone walls, and clear span wood floor joists. The property is a part of the Main Street Heritage Conservation District, as defined by the City of Cambridge under Part IV of the Ontario Heritage Act.

The Standards and Guidelines for the Conservation of Historic Places in Canada provide direction when a building is identified as an historic place. This document provides direction on maintaining, repairing, and replacing components or systems within a heritage building. As such, this document will help guide work on our scope, as to follow all best practices when working on historically important buildings.

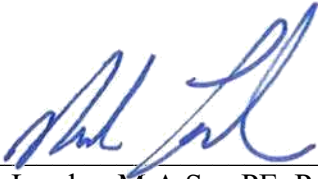
Alterations on the main floor front façade will not cause any irreversible damage to the surrounding stonework. The front façade is supported by a modern structural steel beam, which appears to have been installed in the mid-20<sup>th</sup> Century. This beam is anticipated to stay in place, and the changes to the front façade will be limited to non-structural changes at the street level, and replacement of existing windows within existing openings.

Restoration of the exterior masonry elements will follow all best heritage practices. This would include use of mortars that ensure the long-term preservation of the masonry assembly, and are compatible in strength, porosity, absorption, and vapour permeability with the existing masonry units. Pointing mortars would be weaker than the masonry units; bedding mortars would meet structural requirements; and the joint profile will be visually compatible with the masonry in colour, texture, and width.

Masonry cleaning will be done using a staged approach. Starting with the least harsh cleaning methods such as water blasting, increasing to the use of chemical methods, only when verification has been made that the proposed methods will not cause damage to the masonry units. No abrasive cleaning will be used unless verification is made that the methods will not damage existing masonry units.

The undersigned is a Professional Member of the Canadian Association of Heritage Professionals and has participated in multiple heritage restoration projects of significant masonry buildings throughout Waterloo Region and across Ontario. CV provided under separate cover.

Per

  
Nick Lawler, M.A.Sc., PE, P.Eng., CAHP  
Structural Engineer, Senior Associate  
Tacoma Engineers



# RESTORE VS. REPLACE



Windows & Doors Inc.

September 2018

Presented By:  
Jon LeHeup  
Ridley Windows & Doors

# CASE STUDY:

John H. Daniels Faculty of Architecture, Landscape, and Design

**Question:** Restore or Replace?

Although the retention of original windows is always desirable there is a point when the condition of the windows clearly indicates replacement. There is also the situation where the owner strongly wants the many benefits of a properly installed replacement window.



Building with previous windows



Windows & Doors Inc.

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Building with replacement windows



Windows & Doors Inc.



# THE HISTORICAL WINDOW QUESTION

## Restoration vs. Replacement

### When to Replace

- Cost effective
- Desired by Owner
- Windows beyond repair
- A written Warranty backed by reputable Company

### When to Restore (Retention)

- Usually most desirable by Toronto Preservation, Historical Architects and Committees.
- Proper Restoration can be done
- If cost is effective.
- If the life of the window will be extended.
- If desired by Owner.



The Dineen Building, Toronto  
Ridley Replacement



Windows & Doors Inc.

# WHY CHOOSE RIDLEY?

- Cost Effectiveness
- A window tested to perform to (CAN-440).
- Lower heating and air conditioning costs (SB -12).
- A Pre-finish in/out with a 15 year Warranty (Norcoat).
- A life time service arrangement.
- A properly installed product.
- Uniformity in look (no mixing).



Artscape Youngplace, Toronto  
Ridley Replacement

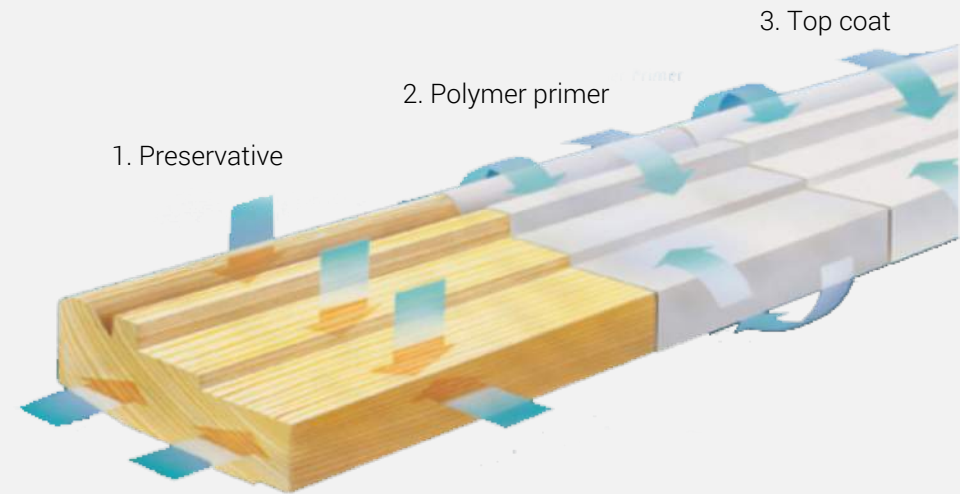


Windows & Doors Inc.

# THE PRODUCT

## Norwood Norcoat

- The three part Norcoat factory finish is electrostatically bonded to each component before final assembly.
- With a 15-year guarantee, Norcoat is the industry's highest quality, exterior wood finish.
- In the three-step process, components are soaked and coated twice before assembly for greater resistance to the elements than the finest paint.
- The ability to paint the interior the same color as the exterior at no charge.
- Over 260 standard colors to choose from.



Windows & Doors Inc.

# THE GLASS

## ClimaGuard 71/38

- Clima-Guard SPF option.
- Improves insulating value by as much as 50% over standard clear glass for lower heating costs.
- Blocks up to 50% more unwanted solar energy than standard clear glass for lower A/C bills.
- Blocks nearly twice as much harmful radiation as clear glass to extend the life of woodwork, carpets and furnishings - while still allowing plenty of natural sunlight to brighten the home.
- Reduces unwanted solar heat gain in southern- and western facing rooms and helps maintain a uniform comfort level throughout the house.
- Meets SB-12 and CAN-440 requirements.

ClimaGuard 71/38 vs. the competition

Low-E Products	Visible Light			UV Trans	UV Tdw-ISO	SHGC	U-Factor	
	Trans	Reflect Out	Reflect In				Argon	Air
ClimaGuard 71/38	71%	10%	12%	24%	56%	0.387	0.244	0.291
AGC Comfort Select™ 40	72%	12%	13%	19%	56%	0.392	0.248	0.295
AGC Comfort Ti-AC 40™	71%	9%	11%	45%	63%	0.400	0.250	0.296
Cardinal LoE <sup>+</sup> -272™	72%	11%	12%	16%	55%	0.414	0.250	0.297
PPG Solarban® 60	72%	11%	13%	21%	56%	0.386	0.247	0.294

Double glazed: 3.0mm Clr; 1/2" Air Space; 3.0mm Clr: Air and 90% Argon/10% Air Filled Units



Windows & Doors Inc.



# THE INSTALLATION PROCESS



Step 1: Existing Windows



Step 2: Opening is exposed from exterior



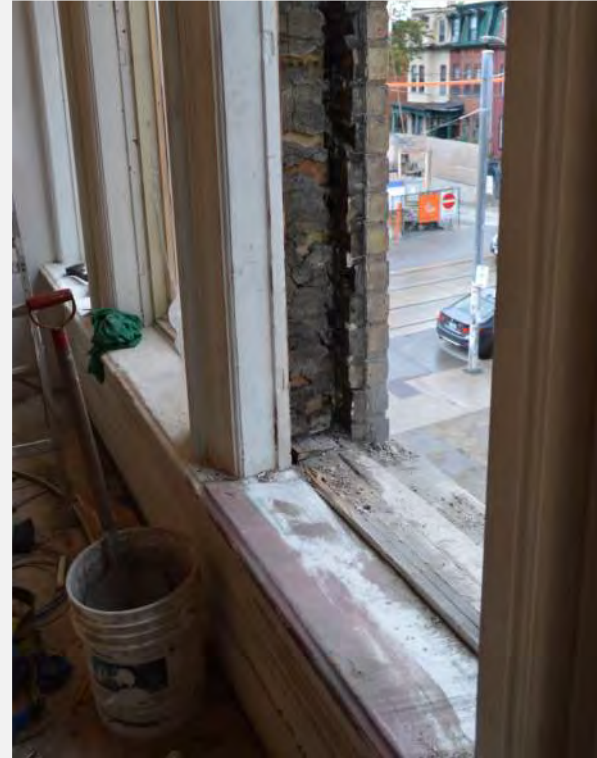
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# THE INSTALLATION PROCESS



Step 3: Opening is exposed from interior



Step 4: Open cavity is wood blocked and foamed for new window



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# THE INSTALLATION PROCESS



Step 5: New windows are anchored, foamed and blocked



Step 6: New windows go into existing refurbished historical trim



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# THANK YOU

[www.ridley-windows.com](http://www.ridley-windows.com)



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