

**Regional Municipality of Waterloo
Waterloo Regional Heritage Foundation
Agenda**



Tuesday, March 22, 2022, 5:30 p.m.
Meeting to be held electronically
150 Frederick Street, Kitchener, Ontario

Should you require an alternative format please contact the Regional Clerk at Tel.: 519-575-4400,
TTY: 519-575-4605, or regionalclerk@regionofwaterloo.ca

Pages

- 1. Call to Order**
- 2. Declarations of Conflict of Interest**
- 3. Finance Reports**
None.
- 4. Delegations**
 - 4.1. [Kitchener Public Library re: Oral History Digitization Project Extension Request](#)** 3

Recommended Motion:
That the Waterloo Regional Heritage Foundation approve the request for extension to the Kitchener Public Library for the Kitchener Public Library Oral History Tape Digitization Project until March 31, 2023.
 - 4.2. [Application 438 Malabar Dr re: Property Grant](#)** 4

The applicant has applied for a property grant for the reconstruction of the Porch project on the north side of the house and has indicated that an engineer with heritage construction experience has been hired. The applicant is seeking direction from the Waterloo Regional Heritage Foundation on how to proceed further, specifically with the following questions:

 1. Who is to be contacted to review the small changes in detail to implement the Heritage Permit and to determine whether they need further approvals?
 2. Should they have Building review the revised plans now and/or apply for the Building Permit now? Brandon Thompson reviewed the previous plans and provided good advice on the railing heights and grades?

3. How detailed should the budget quotes be for submission to the Heritage Foundation? It was previously mentioned that WRHF was working on some guidelines and wondered if they were available.

The attached documents were provided to the Foundation in March 2021.

5. [Approval of Minutes - February 8, 2022](#)

13

Recommended Motion:

That the Waterloo Regional Heritage Foundation approve the meeting minutes of February 8, 2022.

6. 2022 Committees

6.1. Allocations and Finance Committee

6.2. Heritage Advisory and Communications Committee

6.3. Strategic Planning Committee

7. Information/Correspondence

8. Other Business

9. Next Meeting - April 26, 2022

10. Adjourn

Recommended Motion:

That the meeting adjourn at TIME



Kitchener
Public Library

John Glass, Foundation Chair
Waterloo Regional Heritage Foundation
Regional Administration Building
150 Frederick Street, 2nd Floor
Kitchener, ON N2G 4J3

9 March 2022

Re: Kitchener Public Library Oral History Digitization Project Deadline Extension

Dear John,

I am writing to request a deadline extension for the Kitchener Public Library Oral History Tape Digitization Project to March 2023. We received a grant for \$13,740 from the Waterloo Regional Heritage Foundation for the project with a completion date of March 23, 2022.

We would like to request an extension to the project due to COVID-19 related delays with our digitization service provider. Should an extension be granted, we have secured a revised quote from an alternate local service provider who has capacity to complete the digitization work by the revised project deadline.

If you have further questions, please do not hesitate to contact Karen Ball-Pyatt, Manager, Grace Schmidt Room of Local History, at 519-743-0271, ext. 252 / email: karen.ball-pyatt@kpl.org

Thank you for considering our request to extend the project deadline to enable the Kitchener Public Library to make this rich and unique local history collection accessible to the community.

Sincerely,

Mary Chevreau
Chief Executive Officer
Email: mary.chevreau@kpl.org
Tel: 519-743-0271, ext. 244

All proposed work shall be done in accordance with approved permits, plans and specifications. The issuance of the Heritage Permit under the Ontario Heritage Act shall not be a waiver of any of the provisions of any by-law of the City of Waterloo, or the requirements of the Building Code Act.

THIS HERITAGE PERMIT SHALL BE POSTED ON SITE. ALL PROPOSED HERITAGE WORK IS SUBJECT TO OBTAINING A BUILDING PERMIT.

BASIC HERITAGE PERMIT INFORMATION

Property Location: 438 Malabar Drive **Permit #:** 2020-002
Legal Description: PT LT 62 German Company Tract, **Date Issued:** September 25, 2020
 Parts 1,2,3,4,9 & 10, 58R10904
Type of Application: rebuild/replication **Heritage Designation:** Part IV
Approved Through: Delegated Approval

PEOPLE INFORMATION

<u>Applicant</u>	<u>Owner</u>	
Ron & Wendy Cascaden 438 Malabar Drive Waterloo, ON N2K 2P7	Ron & Wendy Cascaden 438 Malabar Drive Waterloo, ON N2K 2P7	

PROJECT PROPOSAL INFORMATION

Description:

- Porch Replication: replicate original porch on the northern facade of the building based on documentation and markings/scars visible on the brickwork and other features of the building.
- First 22 feet of the porch would be covered by a cedar shake shed roof with eave returns (copied from the south porch).
 - Porch roof would be supported by square chamfered columns (copied from the south porch) with handrails and spindles (copied from the front porch).
 - For remaining uncovered portion along northern façade, porch would be a simple boardwalk at the same level due to the raised grades.
 - 3 foot high guard rail along north side of the porch, landscaping solution required on the north side that would raise the grade 19" and be 3' wide to achieve a drop of no more than 5'11".
 - Additional guard rail at 42 inches required on the eastern side of the porch to comply with the Ontario Building Code.
 - Cedar decking

CONDITIONS AND RECOMMENDATIONS

Heritage Permit #2020-002 is issued as per the details outlined in the heritage permit application and submitted plans, subject to the following condition:

- Condition: that the columns, railings, and spindles for the porch match (or be compatible with) the profile, dimension, and style of the existing front and south porches accordingly.

PROJECT PROPOSAL INFORMATION

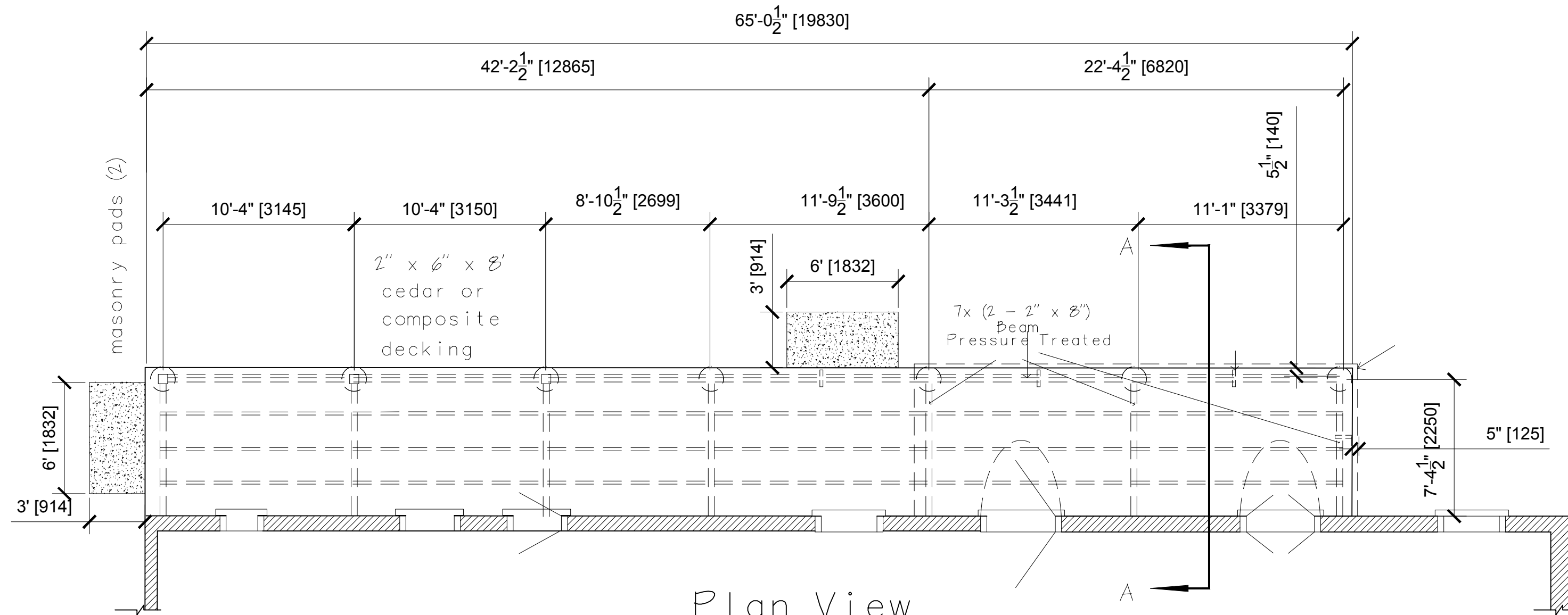
438 MALABAR DRIVE, WATERLOO

REBUILD THE PORCH/DECK ON THE NORTH SIDE OF THE HOUSE

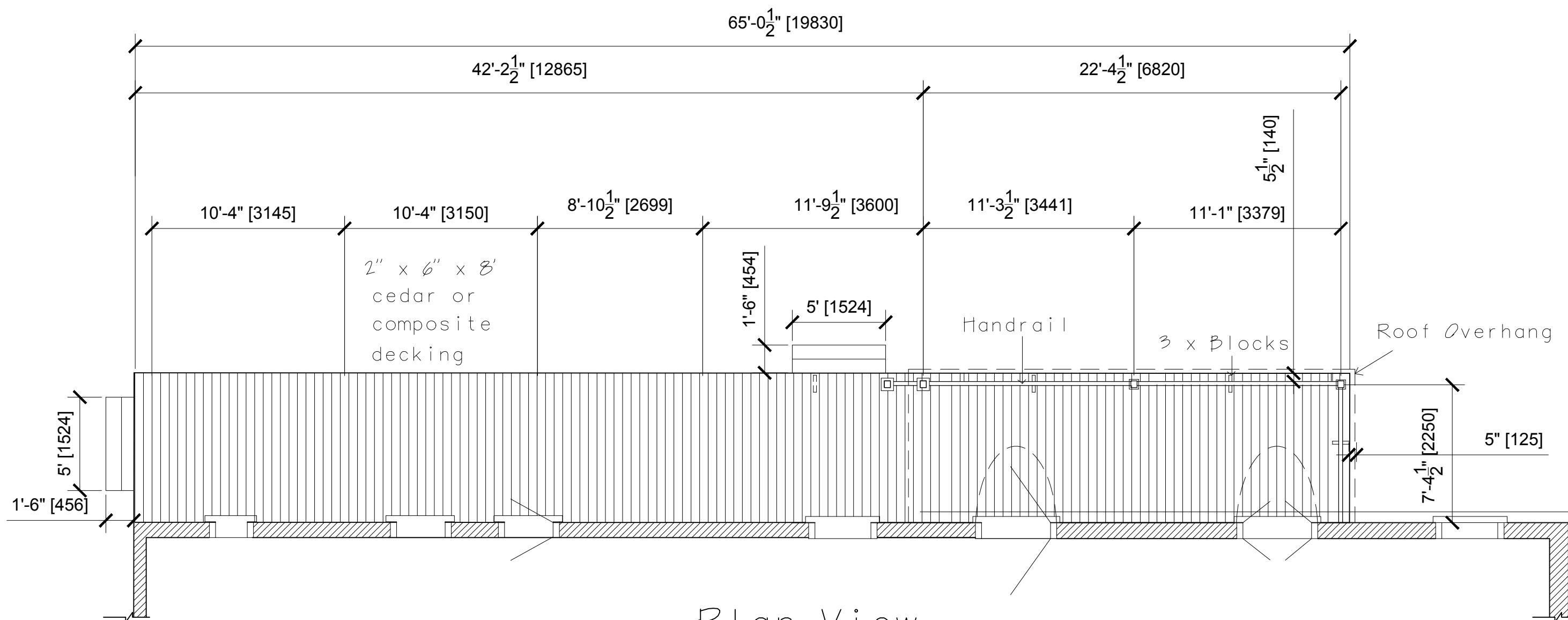
- Porch/deck design is guided by the marking/scars visible on the brickwork and details of other features of the house
- From the building scars we know:
 - Length of porch roof
 - Pitch of porch roof
 - Height of handrail at wall
 - Height of porch floor and deck above grade
- From other house details we know:
 - Shape/scale of porch pillars
 - Shape of handrail and spindles
 - Roof material
 - Eaves returns detail
 - Paint colour
- Porch/deck connects 3 doorways – one each on the original house (1842), the first addition (pre 1856) and the second addition (pre 1900). It provides access to the main floor from the north side of the house. Below the doorway into the original house (1842), there is a doorway at grade to the original basement kitchen.
- The grades adjacent to the pre 1856 and pre 1900 additions were changed in 2008 when the City completed flood control regrading and berming for Colonial Creek. The result means that the house is not in the Regional Storm floodplain.
- The first 22 feet of the porch/deck are proposed to be covered by a cedar shake shed roof with eave returns (copied from the south porch). There are nailing rails embedded into the brick that determine the length of the roofed section. The pitch of the roof can be determined from scars on the brick for the plastered porch ceiling. From this we can determine the width of the porch.
- It is proposed that the porch roof would be supported by square chamfered columns (copied from the south porch) with handrails and spindles (copied from the front porch). The lower grade toward the front of the house means that the height of the porch deck at the east end would be 8 feet above grade to allow access to the basement through the original door.
- When the first addition was added to the west of the original house (1842), it appears that the north façade portion of the covered porch on the original house was retained and then extended approximately half way along length of the first addition (pre 1856). However, construction of the first addition (pre 1856) required the removal of the two storey porch from the west façade. (Note: Pennsylvania Mennonite Georgian style houses often had a small front porch and a large two storey porch extending across the entire rear façade e.g. Brubacher House. This is what the evidence tells us we had.). We do not know whether there were stairs to grade or where they were.
- As a result of the raised grades to protect the house from ongoing flooding, we have proposed a simple deck/boardwalk on the same level as the porch/deck floor. It provides access to the second addition (pre 1900) door utilizing the ledge on the top of the rubblestone foundation. Given the minimal evidence and changed grades, we have opted for an unobtrusive boardwalk/deck that ties into the evidence that does exist..



North Elevation
438 Malabar Drive, Waterloo



Plan View
Structural



Plan View

Cascaden North Porch - Plans

438 Malabar Drive

Waterloo

Ontario

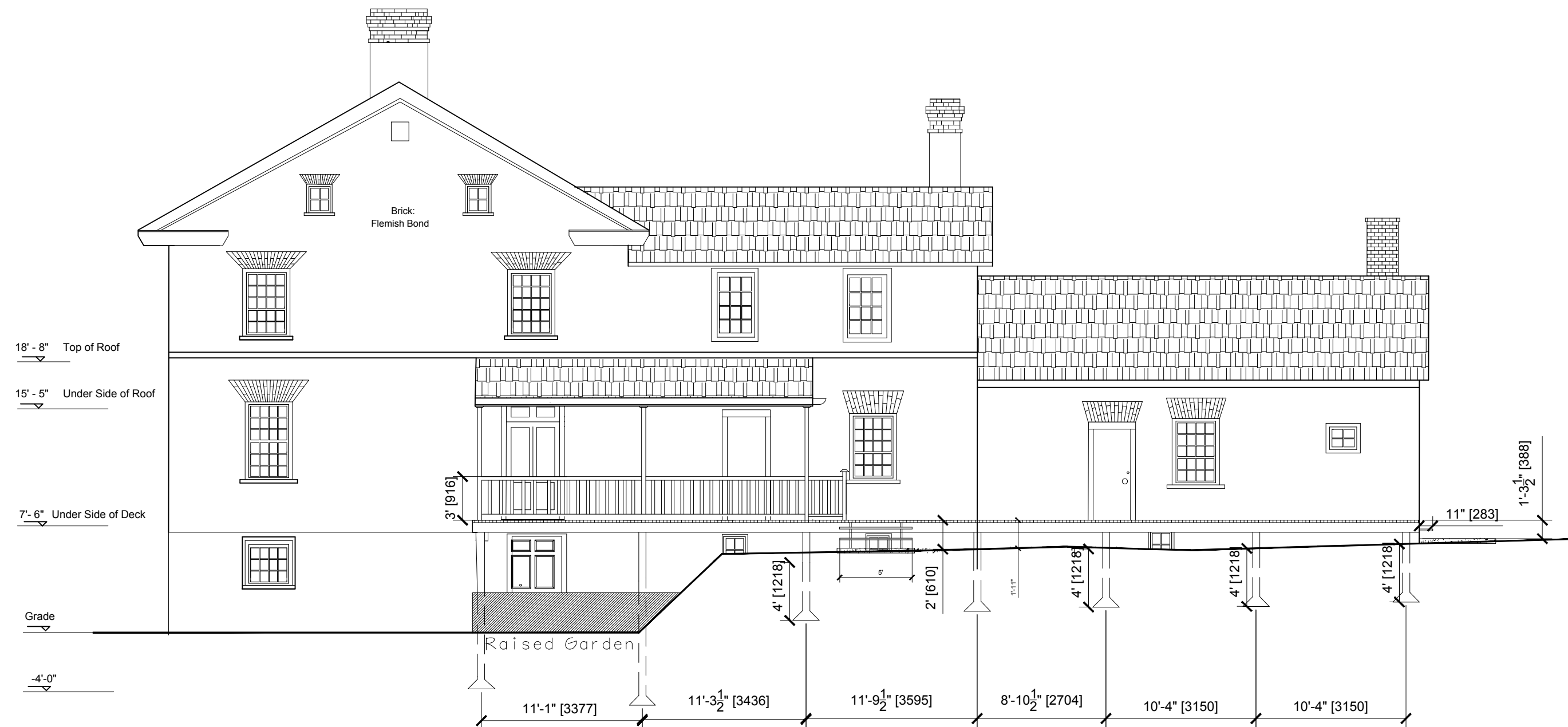
Revised
7/4/2019
7/29/2019
8/20/2019
8/27/2019
9/1/2019
8/17/2020
8/31/2020

Scale:
1/8" = 1'-0"

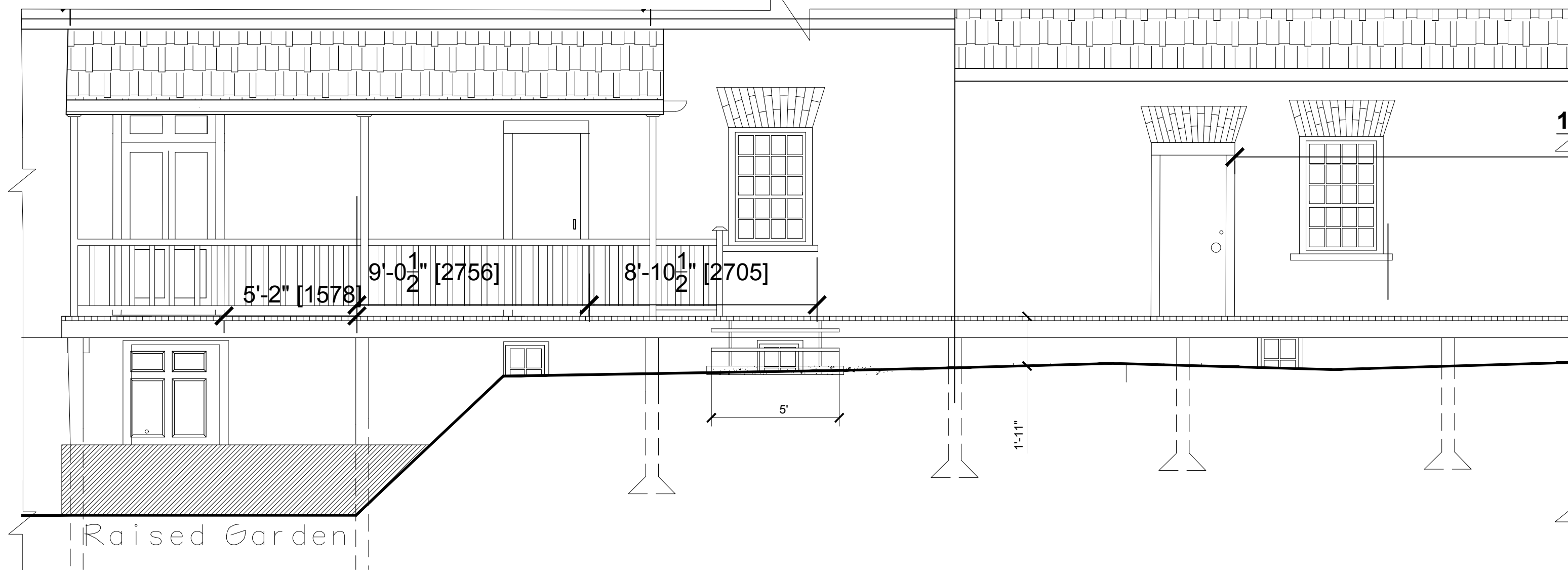
Name:
Ron
Cascaden

Date:
8/31/2020

No:
A1



North Elevation
 $13/32'' = 1'-0''$



Elevation - Covered Porch
 $3/16'' = 1'-0''$

Cascaden Porch -Elevation

438 Malabar Drive

Waterloo

Ontario

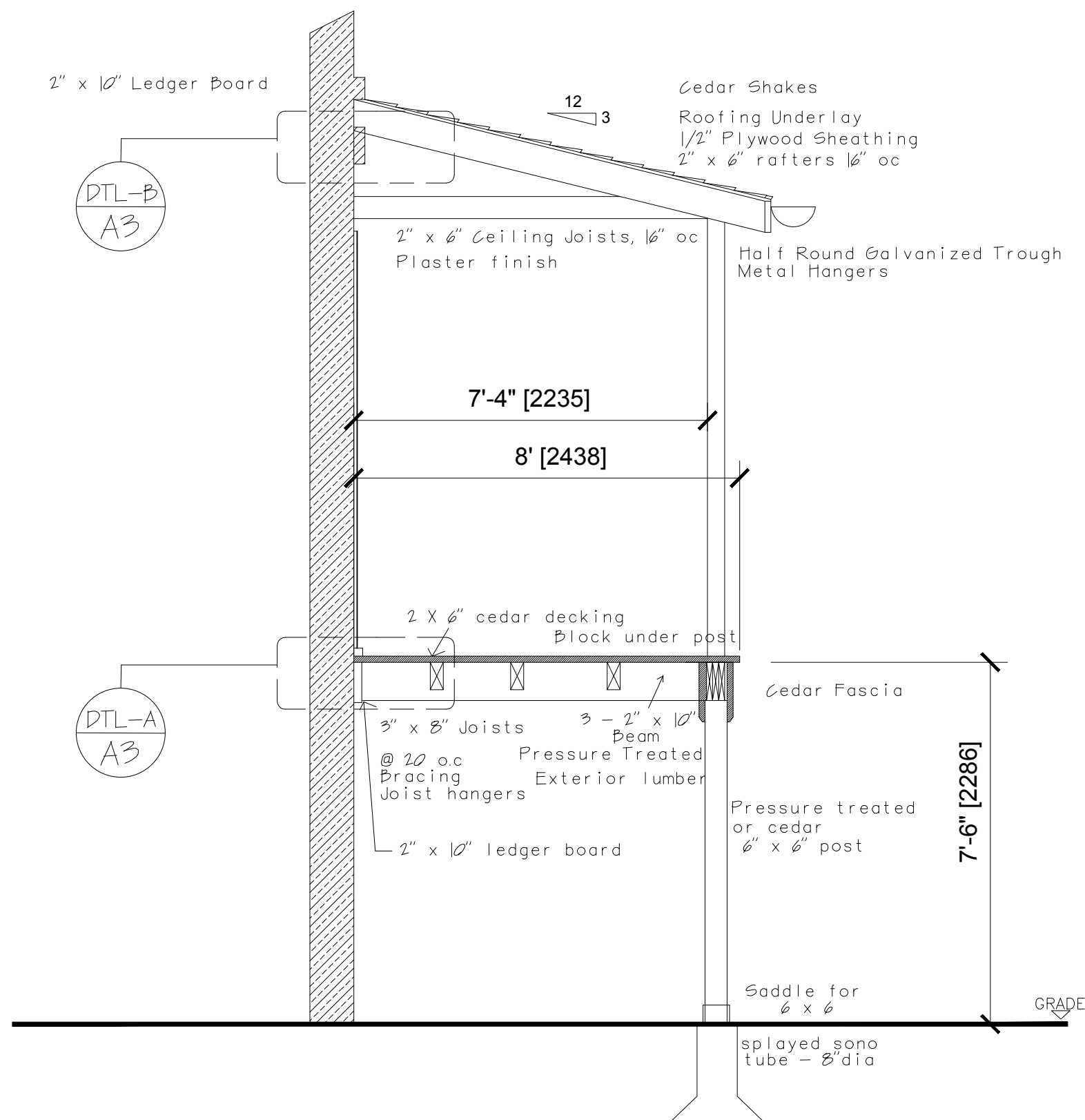
Revised
 7/4/2019
 7/29/2019
 8/21/2019
 8/22/2019
 8/27/2019
 8/11/2020
 8/14/2020

Scale:
 As Noted

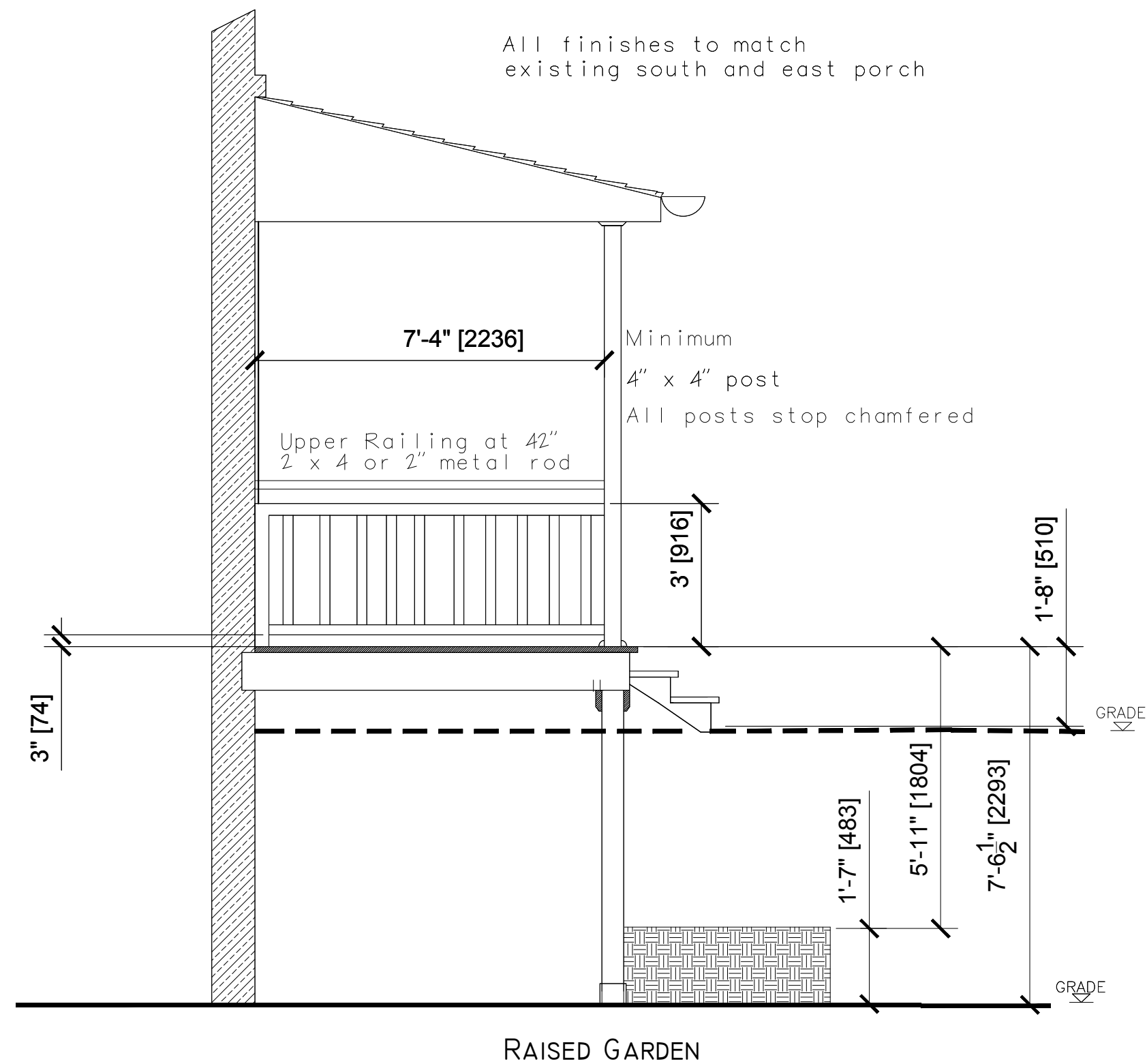
Name:
 Ron
 Cascaden

Date:
 8/14/2020

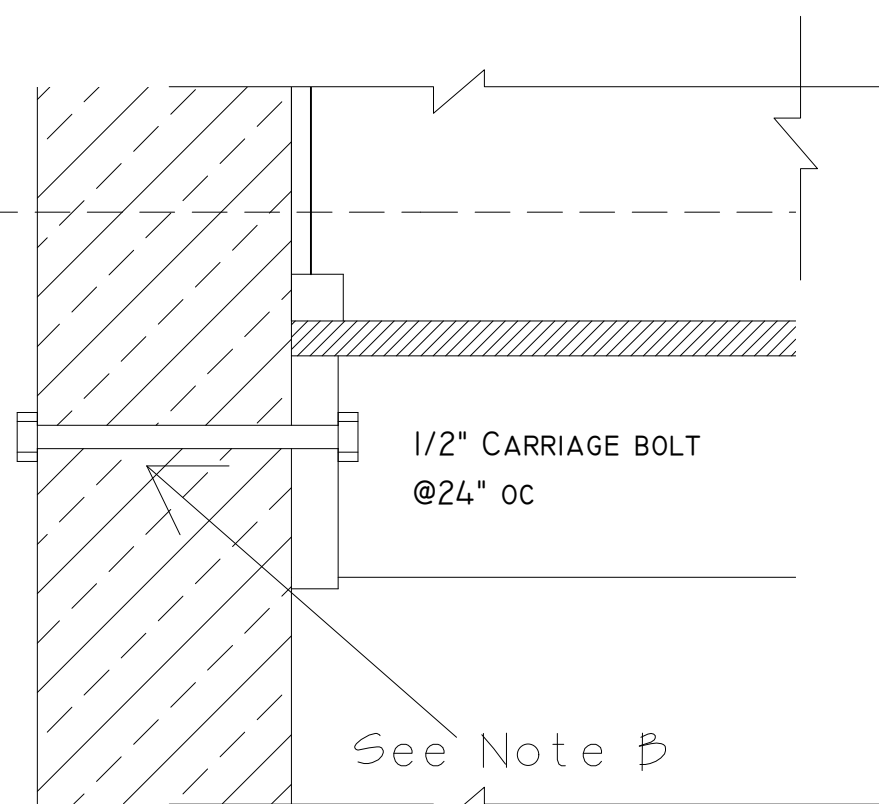
No:
A2



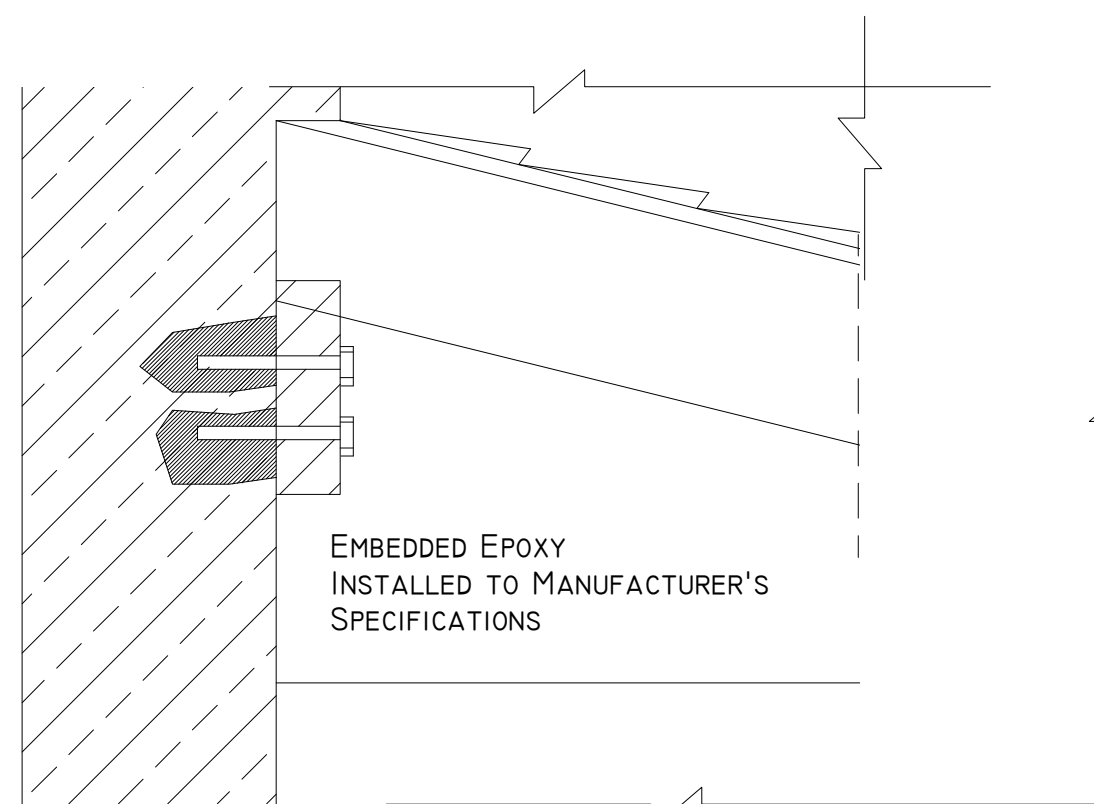
Section A - A
Scale 1/4" = 1'-0"



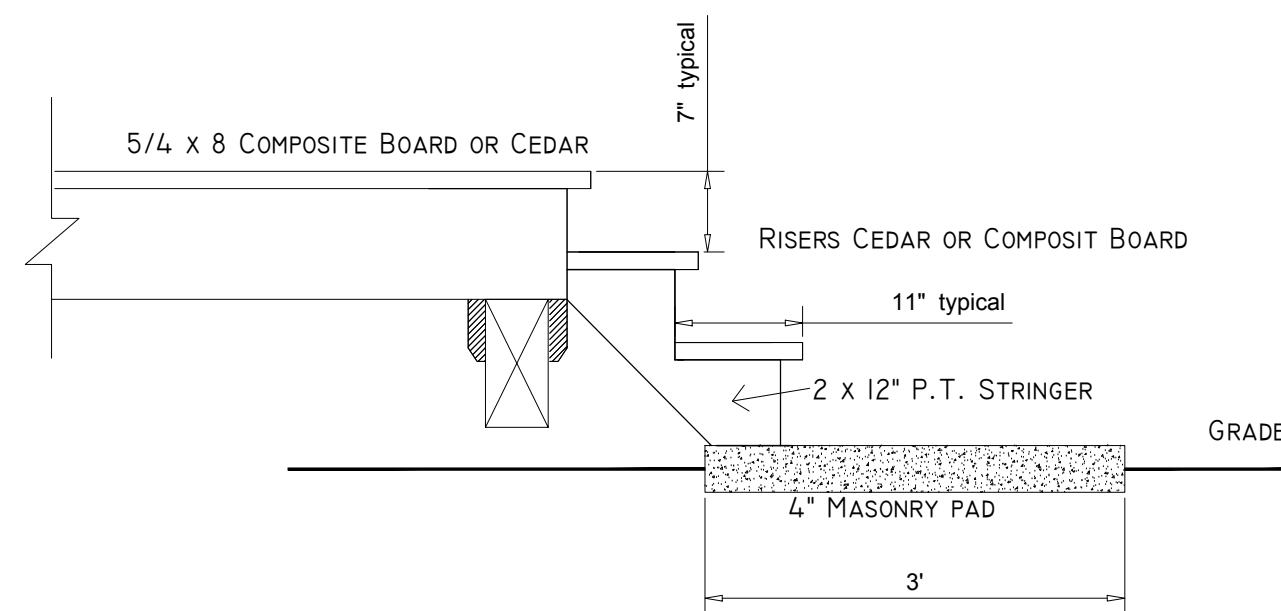
East Elevation
Scale 1/4" = 1'-0"



Detail - A
Scale 1" = 1'-0"



Detail - B
Scale 1" = 1'-0"



Stair Detail
Scale 1/2" = 1'-0"

Note B
Lag Bolt through Masonry
wall as per Kitchener
Building Division Deck
Specifications

Cascaden North Porch - Plans

438 Malabar Drive

Waterloo

Ontario

Revised
7/4/2019
7/29/2019
8/22/2019
9/1/2019
4/30/2020
8/10/2020
8/14/2020
8/31/2020

Scale:
1/8" = 1'-0"

Name:
Ron
Cascaden

Date:
8/31/2020

No:
A3

**RON AND WENDY CASCADEN
438 MALABAR DRIVE
WATERLOO, ONTARIO
N2K 2P7**

Jessica Rudy AMP
Foundation Secretary
Waterloo Region Heritage Foundation
150 Frederick Street, 2nd Floor
Kitchener, Ontario
N2G 4J3

March 17, 2021

**RE: Heritage Foundation Grant Question Related to Rebuilding the
North Porch on the Designated Wissler-Cascaden House**

We appreciate your assistance in bringing our question regarding the Heritage Grant Program to the Region of Waterloo Heritage Foundation meeting on March 23, 2021.

Last fall, the City of Waterloo approved Heritage Permit 2020-002 (copy and plans attached) to allow the rebuilding of the north porch on the designated Wissler-Cascaden House (Bylaw 83-11). The porch design was guided by the markings/scars on the brickwork and details of other features of the house. The first 22 feet of the porch are 2 stories high with a cedar shingle shed roof and plastered ceiling copied from the south porch, eaves returns copied from the south porch, and hand rails and spindles copied from the front porch. The two storey section provides access to the first floor dining room and maintains access to the original (1842) basement kitchen below. As a result of raised grades to protect the house from Colonial Creek flooding, we proposed a 44 foot long uncovered porch deck that relates to the evidence along the north wall. It will provide access at the first floor level to the doorway on the circa-1870 addition.

The proposed rebuilding of the north porch restores the north façade in keeping with the evidence retained on the structure. The north side of the property adjacent to Colonial Creek is directly linked to the important entrepreneurial activities of John Wissler's Eagle Tannery. He had one of the largest tanneries in Upper Canada at that time. He had previously been in business with Jacob Shoemaker's Mills in Bridgeport and was in partnership with his brother Sem's Mills in Elora. Following John Wissler's departure in 1856 and the removal of the tannery buildings, the property became the home of the extended Shantz family (Weber/Shantz/Martin) as part of a large farming complex. Members of both the Wissler and Shantz families have encouraged us in the extensive renovation of their family home.

We have been working on the restoration of the Wissler-Cascaden House since the mid 1970's. The house was in very poor condition at that time. With the help of Peter Stokes, we stabilized the structure and have worked over the years to complete the

restoration. This is one of the last large projects. To complete this project, we have been encouraged to ask the Heritage Foundation for grant assistance.

Since approval of the Heritage Permit late last fall, we have completed your grant application form, including attachments – the Heritage Designation Bylaw, Heritage Permit 2020-002 with porch drawings, and Letters of support from the City, ACO and Susan Burke.

We have not yet completed the requirement for quotes and as a result cannot complete our application for a Regional Heritage Foundation Grant. Trying to get quotes has been a complex and slow process because of the impacts of the Covid pandemic, need for custom work and specialized skills and products. We contacted a number of 'heritage' contractors. Many were reluctant to give us a quote because of lumber supply shortages and escalating lumber prices. Also, they did not want to commit to a price for a job that might start more than 3 months down the line. Demand for contractors has been high because more people are doing renovation projects. Reconstruction of our porch is a more complex job because of the need for custom work for the columns, railing, and spindles; and, more specialized work for the plastered ceiling, cedar shingle roof and half round galvanized eavestroughs.

We also needed to have the porch proposal reviewed and stamped by an engineer to get a building permit, especially where and how it attaches to the house. This has taken us on a bit of a detour in terms of engineered plans keeping the historic details and not showcasing modern construction methods. We are working on resolving this asap. We also plan to use screw piles for the footings.

To maintain the proper proportions for the two storey section of the porch, we plan to use a 36" railing height based on the building evidence rather than 42" as required by the current Building Code. To achieve this, we are planning to do some significant landscaping to raise the grade 19" using stone to take advantage of the existing grades and recreate the former small stream bed including a dry pond waterfall. The rock and bones for the landscaping should be in place before the porch structure is built and after the footings are in, in order for equipment to access the area and properly do the job.

We had hoped to start construction Spring 2021, but realize we do not have everything together for a complete Heritage Grant Application at this time. We are continuing to work on our application and hoping the issues regarding lumber supply and cost stabilize this spring due to fewer impacts from Covid. The question we would like you to consider is **'if we put in the screw pile footings and the landscaping this spring before we got approval for any grant assistance, would that eliminate future funding assistance for the balance of the porch construction?'** That would, in essence mean, we would apply for grant funding not including the screw pile footings and landscaping. This is a special request to help us overcome some of the problems we are facing during the Covid pandemic and its impact on building materials and construction. It would allow us to get started and allow

the 'project' for funding consideration of the 'Rebuilding of the Cascaden North Porch', to be defined without including the screw piles and landscaping elements as part of 'the project'..

We would be happy to attend the meeting if you wish us to answer any questions or provide more detail. Thank you very much.

Wendy Wright Cascaden

Ron Cascaden

Waterloo Regional Heritage Foundation

Minutes

Tuesday, February 8, 2022

5:32 p.m.

This meeting was held electronically

Present were: Chair J. Glass, E. Clarke, D. Emberly, V. Hicks, J. Holland, M. Lee, B. Martin and K. Redman, *V. Mance

Members absent: P. Elsworthy, J. Clinckett

Declarations of Conflict of Interest

None declared.

Funding Allocation and Strategic Review

J. Glass provided a brief overview of that the Region of Waterloo is revising its overall approach to discretionary grants to ensure grant funding is robust, transparent, equitable, purposeful and meets the needs of a growing and diverse community and supports the Region's strategic objectives. This pause will provide the Foundation with an opportunity to review and evaluate how it fits with Regional Council's strategic priorities, including Climate Action, and Equity, Diversity and Inclusion.

*Discussion continued on this matter following agenda item 4.

The Foundation discussed various approaches for the internal strategic review such as increasing Community engagement, promoting the environmental advantages of repairing/reusing heritage properties, and equity, diversity and inclusion training.

The Foundation expressed concern that policies that are too specific can infringe on functionality. The Foundation noted that there are options to obtain funding from other sources as they are an autonomous organization.

The Foundation suggested that a steering committee would be beneficial and that the first meeting would be held on February 22, 2022 at 5 p.m. The Foundation discussed

Document Number: 3948190

Version: 1

3948190

that a pause in granting and accepting applications may be prudent given the pause in funding.

Moved By V. Hicks

Seconded By B. Martin

That the Waterloo Region Heritage Foundation approves a temporary pause in grant funding and a temporary pause in accepting grant applications, until the Foundation completes an internal strategic review.

Carried

Accounts and Grant Summary

Connie Bogusat, Financial Analyst provided the Accounts and Grant Summary. In response to the Foundation, C. Bogusat confirmed that as of December 31, 2021 the remaining net funding is \$144,768.

2022 Insurance Policy Renewal

C. Bogusat provided the 2022 Insurance Policy Renewal

Moved by D. Emberly

Seconded by B. Martin

That the Waterloo Regional Heritage Foundation approve the 2022 Insurance Policy Renewal.

Carried

Delegations

1. Horst Wohlegmut re: Grant Extension Request - Galt Central Presbyterian

*V. Mance entered the meeting at 5:46 p.m.

H. Wohlegmut presented an overview of the grant extension request. The first extension deadline was December 31, 2021 and he explained that the delay is due to Covid-19 supply chain complications. He explained that the project has increased (i.e. sidewalk accessibility). He requested that the approved grant funding be provided before completion of the project.

The Foundation explained that grant funding must follow the Foundation's guidelines which state that the project must be complete prior to providing the grant funding.

In response to the Foundation, H. Wohlegmut confirmed that the estimated completion date is May 31, 2022.

2. Lynn D'Aguilar re: The Waterlot - 90 Wilmot St. New Hamburg

L. D'Aguilar presented an overview of the property grant application. She explained the heritage property features that they are planning to restore.

The Foundation requested additional documentation prior to the Foundation granting the funding request.

3. Stephen W. Young re: Crossroads Productions Historical Film

S. Young presented background information for his publication grant application.

The Foundation noted that current practices restrict granting funds more than once in a two-year period per applicant.

Approval of Minutes

Moved by D. Emberly

Seconded by B. Martin

That the Waterloo Regional Heritage Foundation approve November 23, 2021 meeting minutes, as amended.

Carried

*Discussion continued related to agenda item 2.1 'Funding Allocation and Strategic Review'.

2021-2022 Committees

Allocations and Finance Committee

1. Property Grant Application: The Waterlot - 90 Wilmot St. New Hamburg

Moved by M. Lee

Seconded by V. Hicks

Whereas the Waterloo Region Heritage Foundation recognizes that the property grant application for 90 Wilmot St. New Hamburg, known as the 'The Waterlot', is a warranted restoration project.

Whereas the Regional Municipality of Waterloo approved a pause to grant funding to the Waterloo Region Heritage Foundation for 2022 on December 15, 2021.

Therefore, be it resolved that the Waterloo Region Heritage Foundation denies the property grant application for 90 Wilmot St. New Hamburg, known as the 'The Waterlot', as presented on February 8, 2022.

Carried

2. Publication Grant Application: Crossroads Productions Historical Film

Moved by K. Redman

Seconded by D. Emberly

Whereas the Regional Municipality of Waterloo approved a pause to grant funding to the Waterloo Region Heritage Foundation for 2022 on December 15, 2021.

Therefore, be it resolved that the Waterloo Region Heritage Foundation denies the publication grant application Crossroads Productions Historical Film, as presented on February 8, 2022.

Carried

3. Horst Wohlegmut re: Grant Extension Request - Galt Central Presbyterian

Moved by E. Clarke

Seconded by D. Emberly

That the Waterloo Regional Heritage Foundation approve the request for extension to Central Presbyterian Church for the slate roof replacement until August 31, 2022.

And that the Waterloo Regional Heritage Foundation deny the request for early payment of the grant funding.

Carried

Heritage Advisory and Communications Committee

None.

Other Business

- The Foundation confirmed that appointments for any membership vacancies will be paused during the temporary pause of grant funding.
- The Foundation directed Staff to update the WRHF website with language related to the temporary pause in grant funding and accepting applications due to an internal strategic review.

Correspondence

None.

Next Meeting – March 22, 2022**Adjourn**

Moved by B. Martin

Seconded by E. Clarke

That the meeting adjourn at 7:19 p.m.

Carried

Foundation Chair, J. Glass

Foundation Secretary, J. Hale